

St Cecilia's Catholic Primary School

15 Panonia Road, Wyong NSW 2259

Development Application

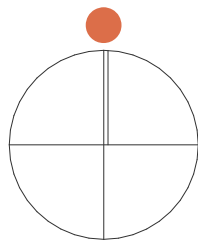
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Property Development Data	
Address	15 Panonia Road, Wyong NSW 2259
Lot & DP	Lot 4, 5, 6, 7, 8 & 22 - DP 4361
Local Council	Central Coast Council
Site Area	11,870m²
NCC Classifications	9B



Location Plan

A	LDs	10/01/2023	Initial Issue
B	LDs	27/03/2023	DA Issue
C	LDs	19/04/2023	Revised DA Issue
No	Initial	DATE	REVISION DETAILS



CLIENT

Catholic Schools Broken Bay

Catholic Schools Broken Bay
PO Box 967,
Pennant Hills, NSW, 1715

PROJECT

St Cecilia's Catholic Primary School

15 Panonia Road, Wyong, NSW, 2259

New Classroom & Amenities Building

DRAWING TITLE

Development Application

Cover Sheet

PROJECT No		DRAWING No		REVISION	
21026		DA001		C	
DRAWING SCALE	SHEET SIZE	DRAWN	CHECKED	DATE	
	A1	LD	MMCG/LD	19/04/2023	

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Notwithstanding to Architects - Tully Wetherill (Reg No. 19460)
Associate: Ross Gardner (Reg No. 39491)



GENERAL SPECIFICATION NOTES:

ALL WORK IS TO BE UNDERTAKEN IN ACCORDANCE WITH:

- ALL RELEVANT & CURRENT BUILDING CODES, ACTS AND REGULATIONS.
- ALL CURRENT AUSTRALIAN STANDARDS.
- THE REQUIREMENTS OF ANY RELEVANT SERVICE AUTHORITY OR UTILITY.
- ALL LOCAL GOVERNMENT AUTHORITY REGULATIONS.
- ALL CONDITIONS OF CONSTRUCTION CERTIFICATION.
- THE MANUFACTURERS WRITTEN INSTRUCTIONS & REQUIREMENTS.

SECTION J

- ALL WORK TO BE UNDERTAKEN TO ACHIEVE COMPLIANCE WITH THE REQUIREMENTS OF SECTION J AND THE PROJECT SECTION J REPORT.
- CERTIFICAION OF COMPLAINT PROVISION AND INSTALLATION OF INSULATION IN ACCORDANCE WITH THE APPROPRIATE PROVISIONS OF J1.1 TO BE PROVIDED FOR OCCUPATION CERTIFICATE APPLICATION
- BUILDING TO BE SEALED TO ACHIEVE COMPLIANCE WITH PART J3

ALL WORKS ARE TO COMPLY WITH THE REQUIREMENTS AND DETAILS OF THE PREOJECT FIRE ENGINEERING REPORT.

PAYALL RELEVANT FEES TO COUNCIL / UTILITIES / AUTHORITIES

THE CONTRACTORS ARE TO FAMILIARISE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND WILL BE DEEMED TO HAVE INCLUDED ALL LABOUR AND MATERIALS, ALL ACCESSORIES, TRIMS, FIXINGS AND THE LIKE NECESSARY TO COMPLETE THE WORKS TO A HIGH STANDARD OF CONSTRUCTION AND FINISH.

MEANS OF SITE ACCESS AND LOCATION OF SITE OFFICE, MESSING FACILITIES, ABLUTIONS, SITE STORAGE AND RUBBISH BINS TO BE AS AGREED WITH THE OWNER / ARCHITECT.

ALLOW FOR TEMPORARY HOARDINGS DURING CONSTRUCTION PERIOD AS REQUIRED. PROVIDE SUITABLE DUST, NOISE AND SAFETY PROTECTION TO ADJACENT AREAS. PREPARE A WORK METHOD STATEMENT ADDRESSING ALL SAFETY ISSUES PRIOR TO COMMENCING WORK INCLUDING HOARDINGS, SCAFFOLDING SHORING AND THE LIKE, ALL IN ACCORDANCE WITH WORKCOVER AUSTRALIA REQUIREMENTS AND WH&S LEGISLATION.

REFER TO DEMOLITION SCHEDULE. PREPARE A DILAPIDATION SURVEY OF AREAS ADJOINING THE PROPOSED WORK AREA AND SUBMIT TO PROPRIETOR PRIOR TO COMMENCING WORK.

ALL DEMOLITION / SITE STRIP OUT WORK IS TO BE CARRIED OUT IN A SAFE & CAREFUL MANNER. ALL EXISTING SURFACES ARE TO BE PROTECTED. ALL EXISTING SERVICES TO BE MAINTAINED ARE TO BE NEATLY COILED AND TAGGED. MAKE GOOD ANY DAMAGE TO SERVICES AND ADJOINING SURFACES RESULTING FROM THE DEMOLITION.

ALL SERVICES IN THE BUILDING NOT FORMING PART OF THE WORKS ARE TO BE MAINTAINED IN AN OPERATING MANNER

TAKE CARE WITH THE PENETRATION OF EXISTING SLABS. ALL PENETRATIONS TO BE APPROVED BY THE STRUCTURAL ENGINEER.

ALL LONG LEAD TIME ITEMS TO BE ORDERED IN A TIMELY MANNER TO ENSURE AVAILABILITY.

ALL PRODUCTS TO BE AS SPECIFIED. IF THE CONTRACTOR WISHES TO PROVIDE AN ALTERNATIVE EQUIVALENT PRODUCT, FULL TECHNICAL DETAILS AND SAMPLES ARE TO BE SUBMITTED FOR ARCHITECTS WRITTEN APPROVAL BEFORE ORDERING OR UNDERTAKING THE WORK.

PROVIDE SHOP DRAWINGS FOR REVIEW FOR ALL FABRICATED ITEMS SUCH AS METAL WORK, WINDOWS, DOORS, LOUVRES, JOINERY, KITCHEN LAYOUTS ETC. PROVIDE DRAWINGS IN A TIMELY MANNER TO ENSURE COMPLETION IS ACHIEVED.

ALL WORK TO BE DONE IN A WORKMANLIKE MANNER, TO BEST PRACTICE STANDARD AND TO BE NEAT AND CLEAN. ALL JUNCTIONS OF NEW WITH EXISTING SURFACES TO ALIGN AND BE NEATLY FINISHED. PROVIDE ALL NECESSARY ITEMS TO SATISFACTORILY COMPLETE THE WORKS TO A FIRST CLASS STANDARD WHETHER OR NOT THEY ARE SPECIFICALLY SPECIFIED AND / OR NOTED.

THOROUGHLY AND CAREFULLY PREPARE ALL SURFACES AND SUBSTRATES TO BE RETAINED PRIOR TO THE APPLICATION OF NEW FINISHES, LININGS AND THE LIKE.

ALLOW FOR CONTROL / CONSTRUCTION JOINTS AS REQUIRED IN ACCORDANCE WITH AUSTRALIAN STANDARDS. MANUFACTURERS WRITTEN INSTRUCTIONS TAKE PRECEDENCE OVER, AND GOOD BUILDING PRACTICE. ALLOW FOR CONTROL / CONSTRUCTION JOINTS IN APPLIED FINISHES TO ALIGN WITH THOSE OF THE SUBSTRATE.

ALL SERVICES CABLING, CONDUITS, PIPEWORK TO BE CONCEALED. EXPOSED SURFACE MOUNTED SERVICES WILL **NOT** BE ACCEPTED.

ALL MATERIALS ARE TO MATCH THE EXISTING ADJACENT SURFACE UNLESS NOTED OTHERWISE.

ALL MATERIALS ARE TO BE NEW UNLESS NOTED OTHERWISE.

MAKE GOOD ALL SURFACES DISTURBED BY THE WORKS BY MATCHING TYPE, FINISH, TEXTURE AND COATING OF EXISTING UNLESS NOTED OTHERWISE.

ALL EXISTING BUILDING SERVICES CONNECTIONS AND LOCATIONS ARE TO BE CHECKED BEFORE WORK COMMENCES. NOTIFY AND OBTAIN APPROVAL FROM RELEVANT AUTHORITIES.

ALL RE-USABLE ITEMS SUCH AS LIGHT FITTINGS, DOOR FURNITURE, FIXTURES, FITTINGS, EQUIPMENT AND THE LIKE, IF NOT REQUIRED FOR THE WORK ARE TO BE RETURNED TO THE PROPRIETOR OR DISPOSED OF AS DIRECTED. ALL REDUNDANT FITTINGS, SERVICES, BRACKETS CABLING AND THE LIKE TO BE REMOVED AND SURFACES MADE GOOD.

ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION OR MANUFACTURE. ANY VARIATIONS OR DIFFERENCES ARE TO BE REFERRED TO THE ARCHITECT FOR DIRECTION PRIOR TO UNDERTAKING THE WORK. ANY WORK UNDERTAKEN WITHOUT CONFIRMATION OF DIMENSIONS OR APPROVAL BY THE ARCHITECT SHALL BE TOTALLY AT THE CONTRACTORS RISK.

DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS.

THE CONTRACTOR IS TO LIAISE WITH THE ARCHITECT / PROJECT MANAGER AND COORDINATE ALL DOCUMENTATION (BY GWA & OTHERS) INCLUDED AS PART OF THE WORKS.

ALL BUILDING WORKS IN CONNECTION (BWIC) WITH SERVICES AND JOINERY TO BE ALLOWED FOR AND DEEMED TO BE INCLUDED IN THE ACCEPTED TENDER PRICE.

CONSTRUCTION DETAILS SHOWN ARE TYPICAL OF THE STANDARD AND FINISH REQUIRED THROUGHOUT THE WORK EVEN WHERE A SPECIFIC DETAIL IS NOT SHOWN.

WHEN THE CONSTRUCTION OR ITEM IS OBVIOUSLY INFERRED OR IS USUAL AND PROPER IN THE CLASS OF WORK GENERALISED IN THE DRAWINGS, IT SHALL BE DEEMED TO BE INCLUDED IN THE WORK NOTWITHSTANDING THAT SUCH CONSTRUCTION OR NECESSARY ITEMS ARE NOT SPECIFICALLY MENTIONED ON THE DRAWINGS OR IN THE SPECIFICATION.

IF AN ITEM OF WORK OR COMPONENT THAT IS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORKS IS NOT SPECIFIED OR SHOWN ON THE DRAWINGS, THE WORK OR COMPONENT SHALL BE OF GOOD QUALITY COMMENSURATE WITH THE STANDARD OF THE BALANCE OF THE WORKS AND SATISFACTORY TO THE ARCHITECT.

THE CONTRACTOR IS TO ENSURE THAT THE SITE AND SURROUNDING ADJACENT AREAS ARE CLEANED IN A PROFESSIONAL MANNER PRIOR TO HANDOVER. ALL RUBBISH IS TO BE REMOVED FROM THE SITE AT THE END OF EACH WORKING DAY. WASTE TO BE SORTED ON SITE AND REMOVED TO COUNCIL APPROVED TIPS OR RECYCLE DEPOTS WHEREVER POSSIBLE.

UNLESS NOTED OTHERWISE PROVIDE 5% SPARE OF CEILING TILES, CARPET, SHEET FLOORING, CERAMIC TILES AND MINIMUM FOUR LITRES OF EACH COLOUR OF PAINT WHERE NOMINATED AND DELIVER TO THE NOMINATED STORAGE AREA.

ON COMPLETION, THE CONTRACTOR TO PROVIDE CERTIFICATION OF ALL COMPONENTS AND SERVICES AS REQUIRED BY THE CONSTRUCTION CERTIFICATE AND THE CERTIFYING AUTHORITY. REQUEST PCA CERTIFICATION ON COMPLETION IF A CONSTRUCTION CERTIFICATE HAS BEEN ISSUED.

THE CONTRACTOR SHALL COMMISSION ALL EQUIPMENT TO THE SATISFACTION OF THE CONSULTANTS / PROPRIETOR.

ALL MANUFACTURERS WARRANTIES & GUARANTEES (WHERE APPLICABLE), MAINTENANCE INSTRUCTIONS, OPERATING MANUALS AND AS-BUILT DRAWINGS TO BE GIVEN TO THE PROPRIETOR, IN BOTH HARD AND ELECTRONIC FORMAT, PRIOR TO ISSUANCE OF PRACTICAL COMPLETION CERTIFICATION.

ON COMPLETION PROVIDE A LIST OF ALL SUB-CONTRACTORS USED TO UNDERTAKE THE PROJECT AND THEIR CONTACT DETAILS.

DEMOLITION WORKS

DISCLAIMER

THIS DRAWING HAS BEEN PROVIDED FOR CONTRACTOR'S INFORMATION ONLY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE FULL EXTENT AND NATURE OF DEMOLITION AND MAKE GOOD WORKS BASED ON ALL THE TENDER DOCUMENTATION AND THEIR OWN CONSTRUCTION METHODOLOGY FOR UNDERTAKING THE WORKS.

THE CONTRACTOR IS RESPONSIBLE FOR ALLOWING FOR ANY AND ALL DEMOLITION WORKS REQUIRED FOR THE COMPLETION OF THE WORKS, INCLUDING TEMPORARY SUPPORT AND MAKING GOOD TO EXISTING AREAS OF THE BUILDING TO REMAIN.

NOTE:

- 1.0 GENERAL
- 1.1 WORK, AND HENCE DEMOLITION, TO BE CARRIED OUT IN STAGES
- 1.2 MUD AND SOIL FROM VEHICULAR MOVEMENTS TO & FROM SITE MUST NOT BE DEPOSITED ON THE ROAD. CLEAN TRUCKS BEFORE LEAVING SITE
- 1.3 ALL ITEMS SHOWN DOTTED TO BE DEMOLISHED UNLESS SPECIFICALLY NOTED TO BE SALVAGED FOR REUSE OR RETENTION BY SCHOOL
- 1.4 REFER TO SPECIFICATION FOR ITEMS NOTED TO BE SALVAGED FOR INCORPORATION INTO THE NEW WORKS OR RETURNED TO THE SCHOOL.
- 2.0 ELECTRICAL DEMOLITION
- 2.1 REFER TO ELECTRICAL ENGINEERS DRAWINGS FOR INSTRUCTIONS ON REMOVAL OF EXISTING ELECTRICAL ITEMS
- 2.2 REMOVE ALL REDUNDANT DATA ELECTRICAL, AV, SMOKE DETECTION AND OTHER CABLING THAT WILL NOT BE USED IN THE COMPLETED BUILDING.
- 3.0 PROTECTION WORKS
- 3.1 THE CONTRACTOR IS REQUIRED TO PROTECT ANY SURFACE AND FINISH THAT IS REQUIRED TO REMAIN AS PART OF THE WORKS. ANY DAMAGE TO THESE SURFACES WILL BE THE CONTRACTORS RESPONSIBILITY AND COST TO REPAIR OR REPLACE THE DAMAGED ITEM TO THE ARCHITECT'S SATISFACTION.
- 4.0 EXCAVATION WORKS
- 4.1 EXTENT OF EXCAVATION: TYPICALLY, CONTRACTOR IS TO REFER TO CIVIL DOCUMENTS FOR DETAILS OF REQUIRED LEVELS. CONTRACTOR IS RESPONSIBLE FOR MAKING ALLOWANCES TO UNDERTAKE ALL EXCAVATION WORKS AS NEEDED TO COMPLETE THE WORKS, AND REUSE/DISPOSE OF ANY EXCESS FILL AS PART OF THEIR TENDER.
- 5.0 BUILDING DEMOLITION
- 5.1 WHEN REMOVING (a) JOINERY CAP OFF ALL SERVICES BEHIND THE LINE OF THE (b) LINING. MAKE GOOD ALL SURFACES TO ENSURE THAT (n) LININGS SIT SMOOTHLY.
- 5.2 ALL ITEMS SHOWN DASHED IN RED TO BE DEMOLISHED UNLESS SPECIFICALLY NOTED TO BE SALVAGED FOR REUSE OR RETENTION BY THE CLIENT
- 5.3 REFER TO SPECIFICATION FOR ITEMS NOTED TO BE SALVAGED FOR INCORPORATION INTO THE NEW WORKS OR RETURNED TO THE SCHOOL.
- 5.4 MAKE GOOD TO ALL SURFACES IN PREPARATION FOR NEW WORKS TO MEET REQUIRED LEVEL OF FINISH.
- 6.0 ROOF DEMOLITION
- 6.1 COMPLY WITH OH & S WORKCOVER REQUIREMENTS WHEN WORKING ON ROOF
- 7.0 FLOOR DEMOLITION
- 7.1 WHERE FLOOR FINISHES NOTED FOR DEMOLITION, DEMOLITION WORKS TO INCLUDE THE SURFACE FINISH, ANY SKIRTINGS, COVERING STRIPS AND OTHER ACCESSORIES THAT MAY BE PRESENT. WORKS ARE ALSO TO INCLUDE THE REMOVAL OF ALL UNDERLAYS, ADHESIVES, FIXINGS & DIVIDER STRIPS THAT MAY HAVE BEEN CONCEALED BY THE FINISHES
- 7.2 CONTRACTOR IS TO ALLOW TO PREPARE THE AREAS AFFECTED BY DEMOLITION WORKS ACCORDINGLY FOR ALL NEW FLOOR FINISHES SPECIFIED TO ACHIEVE COMPLIANCE WITH ALL RELEVANT STANDARDS.
- 7.3 WHERE DEMOLISHING FLOOR TILES, SCABBLE BACK AND TOP AS REQUIRED FOR NEW FLOOR FINISHES.
- 8.0 MECHANICAL DEMOLITION
- 8.1 REFER TO MECHANICAL ENGINEERS DOCUMENTATION FOR SCOPE OF WORKS.
- 8.2 UNLESS NOTED OTHERWISE, ALL UNITS IN WORK AREAS ARE TO REMAIN IN PLACE
- 8.3 WHERE AFFECTED BY NEW WORKS, RELOCATE HEAD UNIT AND CONTROLLERS, RE-GAS, AND RECOMMISSION EXISTING UNITS.
- 8.4 WHERE UNITS ARE BEING DECOMMISSIONED, UNINSTALL AND SALVAGE THE UNIT AND AND PARTS, AND RETURN TO SCHOOL FOR REUSE.

REPORTS:

FLOOD REPORT: THE SITE IS SUBJECT TO FLOODING. REFER TO "MOLINO STEWART", FLOOD ASSESSMENT, DATED 9TH FEBRUARY 2023 FOR DETAILED ASSESSMENT & REQUIREMENTS.


BUSHFIRE REPORT: REFER TO "BUILDING CODE & BUSHFIRE HAZARD SOLUTIONS PTY LIMITED". BUSHFIRE ASSESSMENT REPORT, DATED 9TH DECEMBER 2022, FOR DETAILED ASSESSMENT & REQUIREMENTS.

A	LDn	25/01/2023	Initial Issue
B	LDn	27/03/2023	DA Issue
C	LDn	19/04/2023	Revised DA Issue
No	Initial	DATE	REVISION DETAILS

CLIENT

Catholic Schools Broken Bay

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PO Box 967,
Pennant Hills, NSW, 1715




PROJECT

St Cecilia's Catholic Primary School

15 Panonia Road, Wyong, NSW, 2259

New Classroom & Amenities Building



DRAWING TITLE

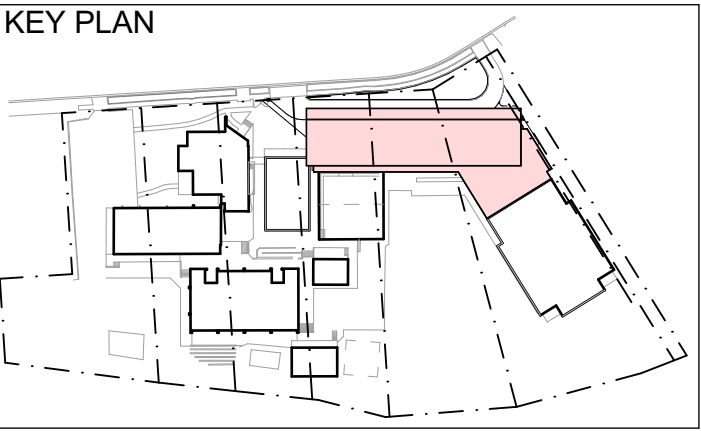
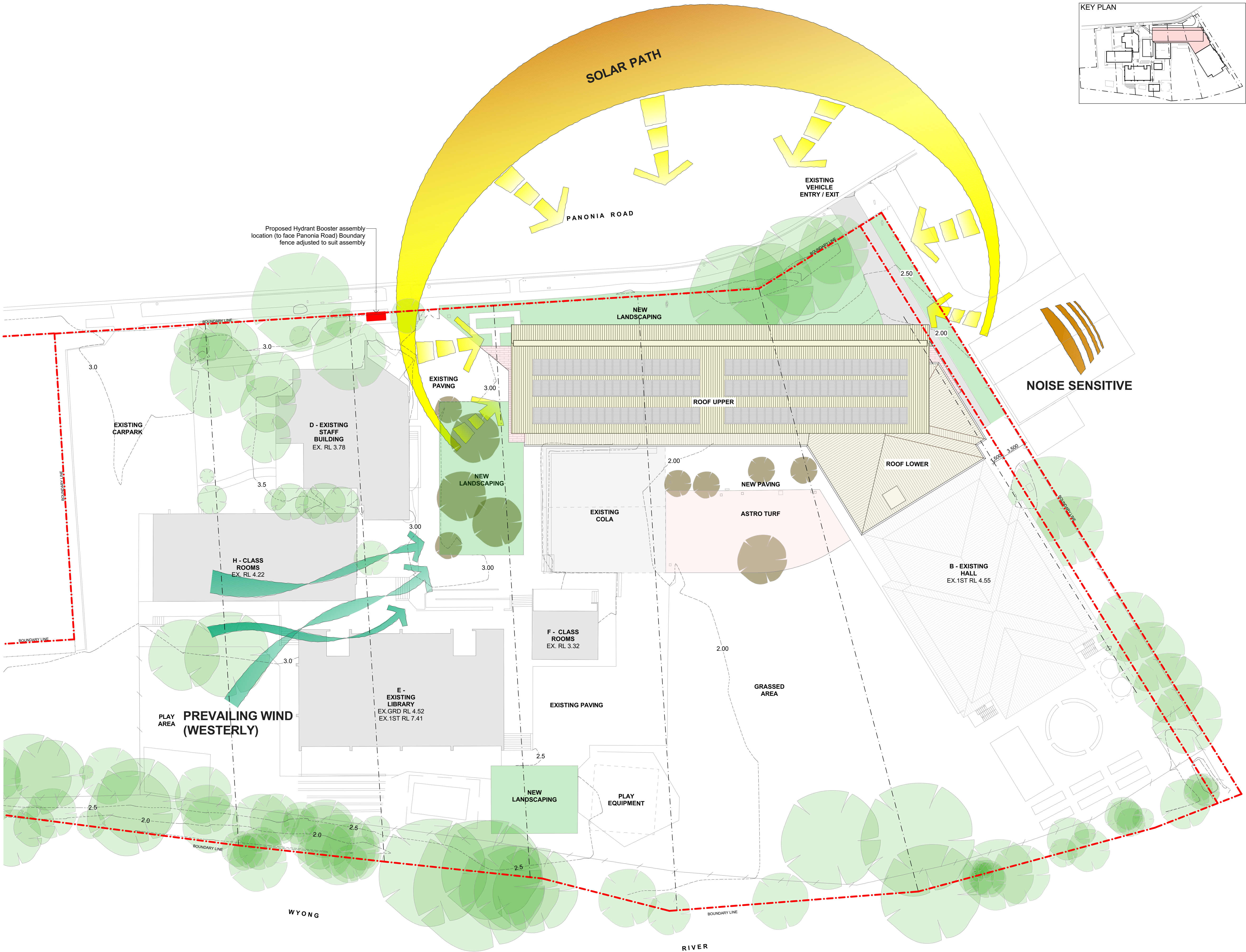
Development Application
DA Notes

PROJECT No	DRAWING No	REVISION
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		MMCG/LD
		DATE
		19/04/2023

ARCHITECT

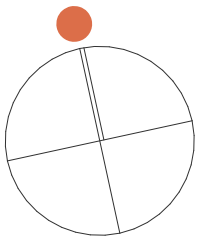
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Notwithstanding Architects - Fully Incorporated (Reg No. 19460)
Allstate Road Contractor (Reg No. 3946)



- LEGEND**
- PROPOSED BUILDING WORKS
 - NO WORKS HATCH
 - EXTENT OF PROPOSED EXTERNAL WORKS
 - EXTENT OF PROPOSED LANDSCAPING
 - EXISTING TREES RETAINED
 - PROPOSED TREES
 - EXISTING WALLS
 - SITE BOUNDARIES
 - CONTOUR LINES / LEVELS
 - VEHICULAR MOVEMENTS
 - PREVAILING WINDS
 - SOLAR PATH
 - NOISE SOURCE

A	LDa	10/01/2023	Initial Issue
B	LDa	15/02/2023	Consultant Issue - General Update
C	LDa	27/03/2023	DA Issue
D	LDa	19/04/2023	Revised DA Issue
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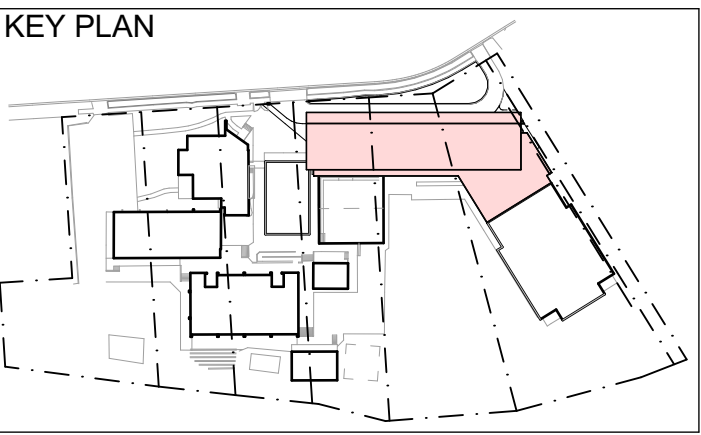
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CLIENT
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15 Panonia Road, Wyong, NSW, 2259
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PROJECT
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New Classroom & Amenities Building

DRAWING TITLE
Development Application
Site Analysis Plan

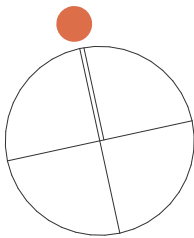
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ARCHITECT		
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- LEGEND**
- SITE BOUNDARIES
 - 95.0 --- CONTOUR LINES / LEVELS
 - LINE OF DEMOLISHED SITE FEATURES
 - [Hatched Box] EXISTING BUILDING TO BE DEMOLISHED
 - [Grey Box] NO WORKS HATCH
 - [Tree Symbol] TREE NUMBER (REFER TO ARBORIST REPORT)
 - [Green Circle] EXISTING TREES RETAINED
 - [Red Circle] EXISTING TREES TO BE REMOVED

REFER TO DRAWING A0001 FOR DEMOLITION NOTES

A	LDh	10/01/2023	Initial Issue
B	LDh	15/02/2023	Consultant Issue - General Update
C	LDh	23/02/2023	Consultant Issue - General Update
D	LDh	10/03/2023	Consultant Issue - General Update
E	LDh	27/03/2023	DA Issue
F	LDh	19/04/2023	Revised DA Issue
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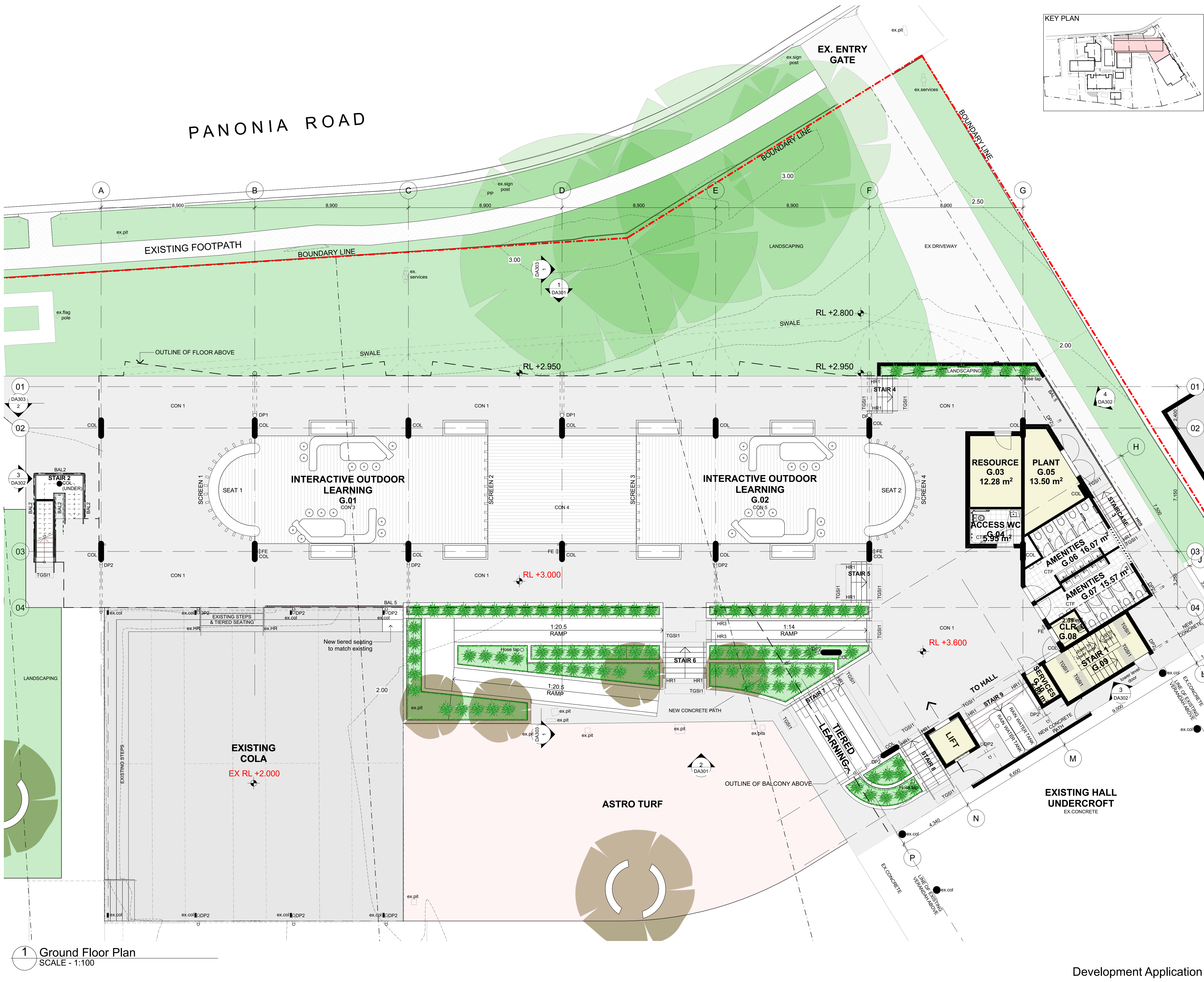
DRAWING TITLE
Development Application
Demolition Plan

PROJECT No	DRAWING No	REVISION
21026	DA103	F
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Horticultural Architects - Tully Wetherill (Reg No. 19460)
Allison Ross Gardner (Reg No. 3949)





GENERAL SCHEDULE OF FINISHES & ABBREVIATIONS

AL* -	Aluminum Framed Window / Door	INS* -	Insulation
AP* -	Access Panel	JU* -	Joinery
BLK* -	Concrete block	LAM* -	Joinery Laminate
BOL* -	Bollard	LVR* -	Louvre
BWK* -	Brickwork	MAT* -	Matt
CFC* -	Compressed Fibre Cement	MIR* -	Mirror
CLG* -	Suspended ceiling	PAV1 -	Paving
CMR -	Cement Render	PBD* -	Plasterboard
CON* -	Concrete	PC* -	Precast concrete
CPT* -	Carpet	PNBD* -	Pinboard
CTF* -	Ceramic Tiles Floor	PT* -	Paint Type
CTW* -	Ceramic Tiles Wall	PTN* -	Partition
DP -	Downpipe	SKT* -	Skirting
FC* -	Fibre Cement Sheet	ST* -	Stone
GLZ* -	Glazing	VB* -	Vapour Barrier
GRN -	Granolithic topping	VNS* -	Vinyl Flooring
HR* -	Handrail	WPM* -	Waterproof Membrane

Note : Numbers eg. 1, 2 etc following an abbreviation denote a particular type of item.
For explanation of item types refer to specification & detailed schedule of materials & finishes

SERVICES

AC -	Air Conditioning Unit	RA -	Return Air
APD -	Agricultural pipe drain	RG -	Roller Grille
CJ -	Control Joint	RHS -	Rectangular Hollow Section
COL -	Column	RWH -	Rainwater Head
DP -	Down Pipe	RWO -	Rainwater Outlet
FH -	Fire Hydrant	SE -	Smoke Exhaust
FHR -	Fire Hose Reel	SHS -	Square Hollow Section
FW -	Floor Waste	TE -	Toilet Exhaust
HWU -	Hot Water Unit	UB -	Universal Beam
GMS -	Galvanised Mild Steel	UC -	Universal Column
MS -	Mild Steel	WS -	Wall Stiffener

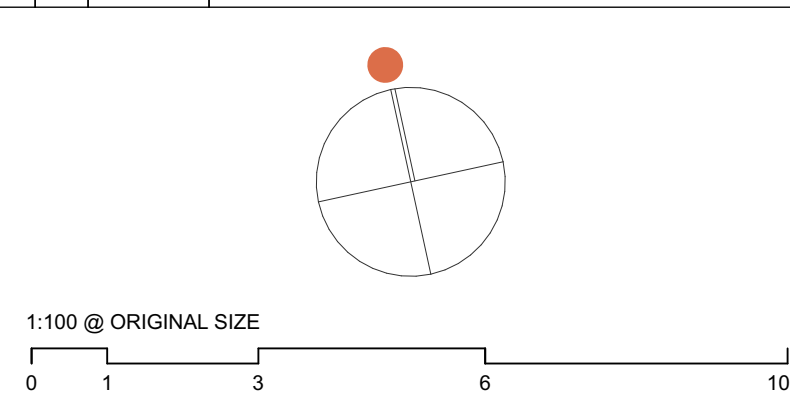
ARCHITECTURAL

APPROX -	Approximate	KS -	Kitchen Sink
BAL -	Balustrade	LVR -	Louvre
BDY -	Boundary	LMR -	Lift Motor Room
BLDG -	Building	MDF -	Medium Density Fibreboard
BOL -	Bollard	MDR -	Metal Roofing
BLK -	Face blockwork	NOM -	Nominal
BSN -	Basin	NTS -	Not To Scale
BT -	Bench Top	OF -	Overflow
BWK -	Face brick	OPW -	Operable Wall
CG -	Corner Guard	PLD -	Panel Lift Door
CL -	Centre Line	PLY -	Plywood
COL -	Columns	PRELIM -	Preliminary
COS -	Check On Site	PV -	Photovoltaic Cell
CPD -	Cupboard	PTD -	Paper Towel Dispenser
CS -	Cleaners Sink	RL -	Relative Level
DIM -	Dimension	RND -	Specialist Render
DPC -	Damp Proof Course	RS -	Roller Shutter
EJ -	Expansion Joint	RT -	Roof Tiles
EQ -	Equal	RW -	Retaining wall
EX -	Existing	SCHED -	Schedule
FCL -	Finished Ceiling Level	SFL -	Structural Floor Level
FCLW1 -	Light weight facade cladding (type 1)	SHR -	Shower
FCLW2 -	Light weight facade cladding (type 2)	SIM -	Similar
FFL -	Finished Floor Level	SKD -	Skirting Ducted
FLR -	Floor	SS -	Stainless Steel
TRIG -	Refrigerator	TGSI -	Tactile Ground Surface Indicators
GAL -	Galvanised	TIM -	Timber
GL -	Ground Level	TPH -	Toilet Paper Holder
GLZ -	Glazed AL, framed glaz	TYP -	Typical
GTR -	Gutter	US -	Underside
HD -	Hand dryer	UNO -	Unless Noted Otherwise
HR -	Handrail	UR -	Urinal
KE -	Kitchen Exhaust	VC -	Vent Cowl
		WC -	Water Closet
		WPM -	Waterproof Membrane

LEGEND

	PROPOSED BUILDING WORKS
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	NO WORKS HATCH
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Ground Floor Plan

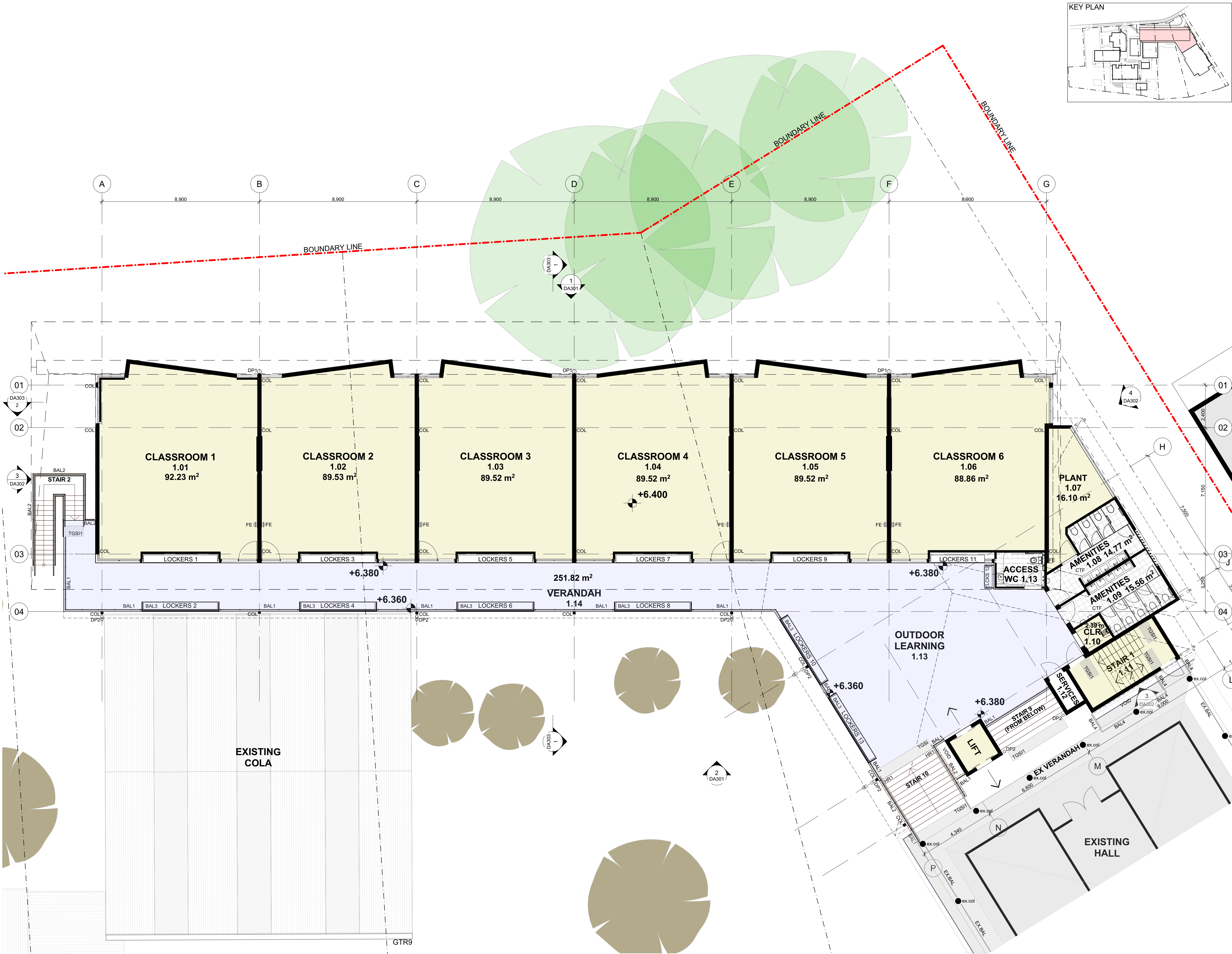
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Allstate Road Contractor (Reg No. 3945)



Development Application



GENERAL SCHEDULE OF FINISHES & ABBREVIATIONS

AL* -	Aluminum Framed Window / Door	INS* -	Insulation
AP* -	Access Panel	JU* -	Joinery
BLK* -	Concrete block	LAM* -	Joinery Laminate
BOL* -	Bollard	LVR* -	Louvre
BWK* -	Brickwork	MAT* -	Matt
CFC* -	Compressed Fibre Cement	MIR* -	Mirror
CLG* -	Suspended ceiling	PAV1 -	Paving
CMR -	Cement Render	PBD* -	Plasterboard
CON* -	Concrete	PC* -	Precast concrete
CPT* -	Carpet	PNBD* -	Pinboard
CTF* -	Ceramic Tiles Floor	PT* -	Paint Type
CTW* -	Ceramic Tiles Wall	PTN* -	Partition
DP -	Downpipe	RS* -	Skirting
FC* -	Fibre Cement Sheet	SKT* -	Skirting
GLZ* -	Glazing	ST* -	Stone
GRN -	Granolithic topping	V6* -	Vapour Barrier
HR* -	Handrail	VNS* -	Vinyl Flooring
		WPM* -	Waterproof Membrane

Note : Numbers eg. 1, 2 etc following an abbreviation denote a particular type of item.
For explanation of item types refer to specification & detailed schedule of materials & finishes

SERVICES

AC -	Air Conditioning Unit	RA -	Return Air
APD -	Agricultural pipe drain	RG -	Roller Grille
CJ -	Control Joint	RHS -	Rectangular Hollow Section
COL -	Column	RWH -	Rainwater Head
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FH -	Fire Hydrant	SE -	Smoke Exhaust
FHR -	Fire Hose Reel	SHS -	Square Hollow Section
FW -	Floor Waste	TE -	Toilet Exhaust
HWU -	Hot Water Unit	UB -	Universal Beam
GMS -	Galvanised Mild Steel	UC -	Universal Column
MS -	Mild Steel	WS -	Wall Stiffener

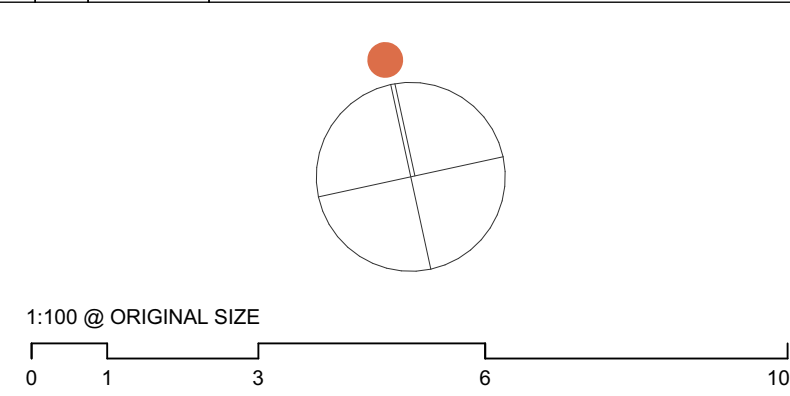
ARCHITECTURAL

APPROX -	Approximate	KS -	Kitchen Sink
BAL -	Balustrade	LVR -	Louvre
BDY -	Boundary	LMR -	Lift Motor Room
BLDG -	Building	MDF -	Medium Density Fibreboard
BOL -	Bollard	MDR -	Metal Roofing
BLK -	Face blockwork	NOM -	Nominal
BSN -	Basin	NTS -	Not To Scale
BT -	Bench Top	OF -	Overflow
BWK -	Face brick	OPW -	Operable Wall
CG -	Corner Guard	PLD -	Panel Lift Door
CL -	Centre Line	PLY -	Plywood
COL -	Columns	PRELIM -	Preliminary
COS -	Check On Site	PV -	Photovoltaic Cell
CPD -	Cupboard	PTD -	Paper Towel Dispenser
CS -	Cleaners Sink	RL -	Relative Level
DM -	Dimension	RND -	Specialist Render
DPC -	Damp Proof Course	RS -	Roller Shutter
EJ -	Expansion Joint	RT -	Roof Tiles
EQ -	Equal	RW -	Retaining wall
EX -	Existing	SCHED -	Schedule
FCL -	Finished Ceiling Level	SFL -	Structural Floor Level
FCLW1 -	Light weight facade cladding (type 1)	SHR -	Shower
FCLW2 -	Light weight facade cladding (type 2)	SIM -	Similar
FFL -	Finished Floor Level	SKD -	Skirting Ducted
FLR -	Floor	SS -	Stainless Steel
FRIG -	Refrigerator	TGSI -	Tactile Ground Surface Indicators
GAL -	Galvanised	TIM -	Timber
GL -	Ground Level	TPH -	Toilet Paper Holder
GLZ -	Powdercoat AL, framed glaz	TYP -	Typical
GTR -	Gutter	US -	Underside
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HR -	Handrail	UR -	Urinal
KE -	Kitchen Exhaust	VC -	Vent Cowl
		WC -	Water Closet
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LEGEND

	PROPOSED BUILDING WORKS
	EXTENT OF PROPOSED EXTERNAL WORKS
	EXTENT OF PROPOSED LANDSCAPING
	NO WORKS HATCH
	EXISTING TREES RETAINED
	PROPOSED TREES

A	15/01/2023	Initial Issue
B	15/02/2023	Consultant Issue - General Update
C	15/03/2023	Consultant Issue - General Update
D	20/03/2023	Consultant Issue - General Update
E	23/03/2023	Consultant Issue - General Update
F	27/03/2023	DA Issue
G	19/04/2023	Revised DA Issue
No	Initial	DATE
		REVISION DETAILS



CLIENT
Catholic Schools Broken Bay
Catholic Schools Broken Bay
PO Box 967,
Pennant Hills, NSW, 1715

PROJECT
St Cecilia's Catholic Primary School
15 Panonia Road, Wyong, NSW, 2259
New Classroom & Amenities Building

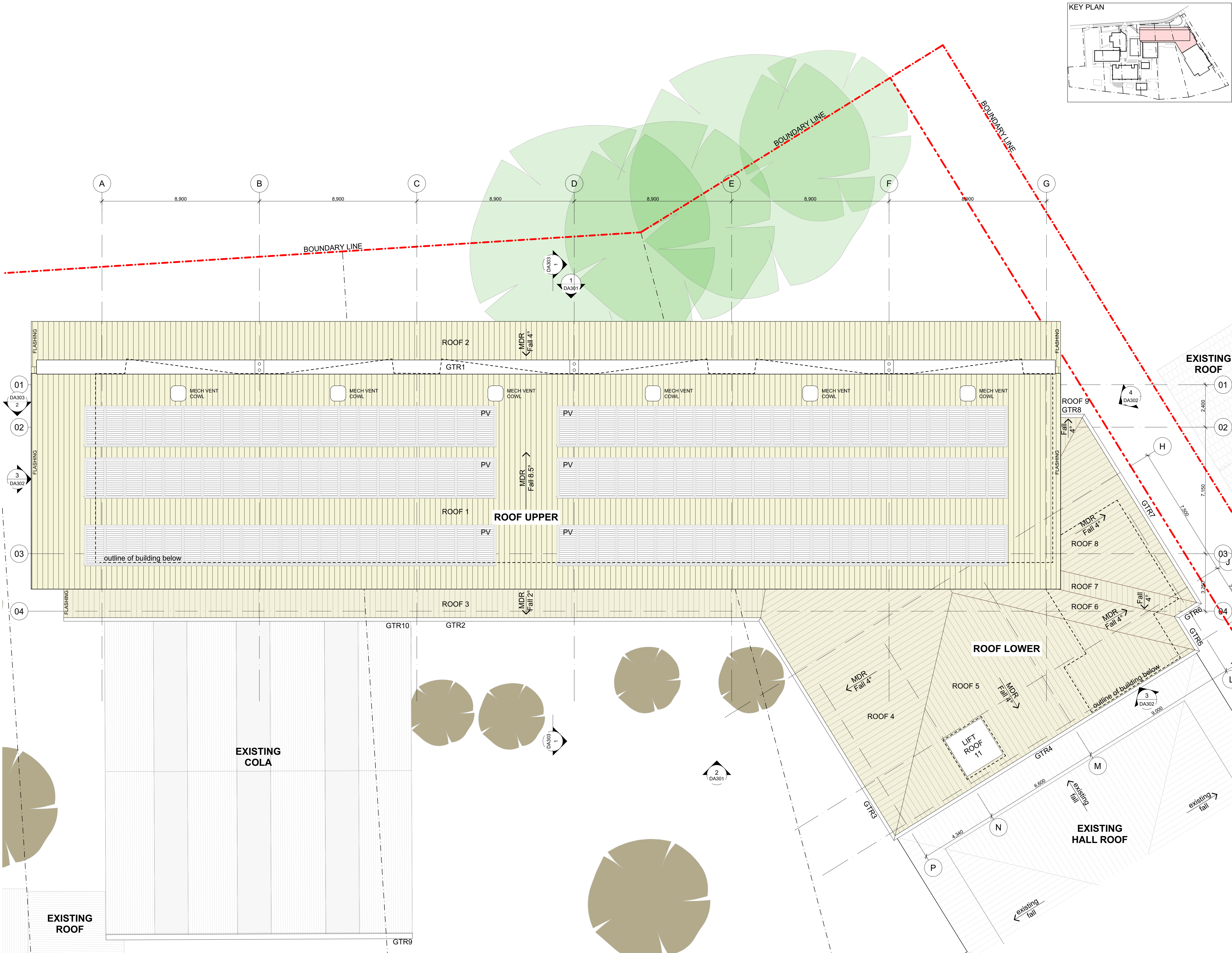
DRAWING TITLE
Development Application
Level 1 Plan

PROJECT No	DRAWING No	REVISION
21026	DA202	G
DRAWING SCALE	SHEET SIZE	DRAWN
1:100	A1	LD
CHECKED	DATE	
MMCG/LD	19/04/2023	

ARCHITECT
Gardner Wetherill Assoc.
Suite 2.01 Level 2
460 Pacific Highway
St Leonards NSW 2065
T. (02) 9929 6777
E. design@gardnerwetherill.com.au
Nominated Architects - Fully Nominated (Reg No. 1466)
Allstate Road Contractor (Reg No. 3946)



1 Level 1 Plan
SCALE - 1:100



GENERAL SCHEDULE OF FINISHES & ABBREVIATIONS

AL* -	Aluminum Framed Window / Door	INS* -	Insulation
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GMS -	Galvanised Mild Steel	UC -	Universal Column
MS -	Mild Steel	WS -	Wall Stiffener

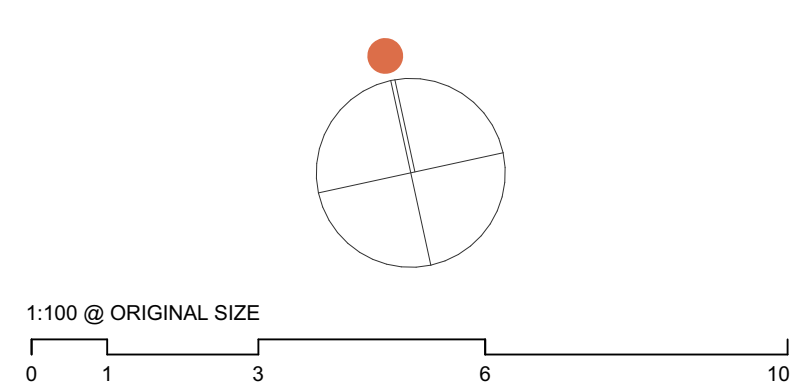
ARCHITECTURAL

APPROX -	Approximate	KS -	Kitchen Sink
BAL -	Balustrade	LVR -	Louvre
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	NO WORKS HATCH
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No	Initial	DATE	REVISION DETAILS
A	LD	10/01/2023	Initial issue
B	LD	10/01/2023	Consultant issue - General updates
C	LD	10/01/2023	Consultant issue - General updates
D	LD	22/03/2023	Consultant issue - General updates
E	LD	27/03/2023	DA issue
F	LD	19/04/2023	Revised DA issue



CLIENT
Catholic Schools Broken Bay
Catholic Schools Broken Bay
PO Box 967,
Pennant Hills, NSW, 1715

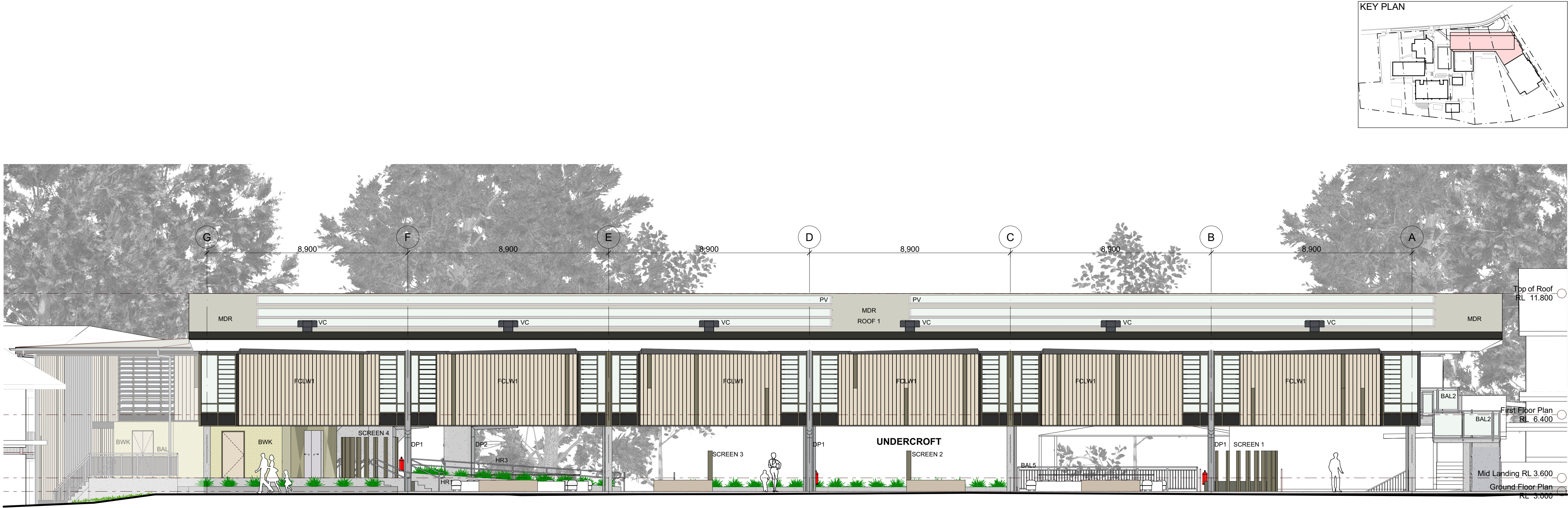
PROJECT
St Cecilia's Catholic Primary School
15 Panonia Road, Wyong, NSW, 2259
New Classroom & Amenities Building

DRAWING TITLE
Development Application
Roof Plan

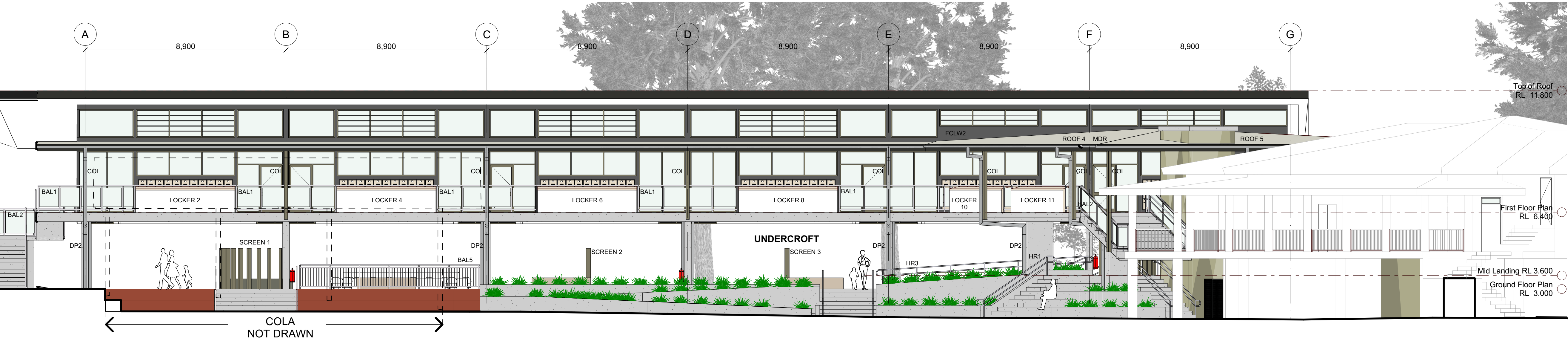
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21026	DA203	F
DRAWING SCALE	SHEET SIZE	DRAWN
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CHECKED	DATE	
MMCG/LD	19/04/2023	
ARCHITECT	Gardner Wetherill Assoc.	T. (02) 9929 6777
	Suite 2.01 Level 2	E. design@gardnerwetherill.com.au
	460 Pacific Highway	
	St Leonards NSW 2065	



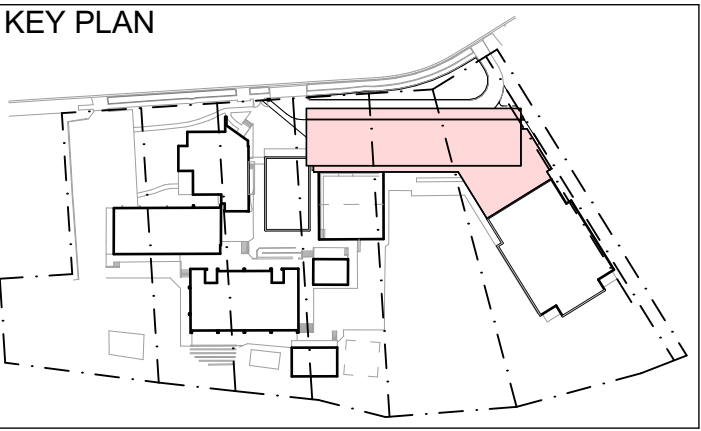
1 Roof Plan
SCALE - 1:100



1 North (Street Side) Elevation
SCALE - 1:100



2 South (River Side) Elevation
SCALE - 1:100



GENERAL SCHEDULE OF FINISHES & ABBREVIATIONS

AL* - Aluminum Framed Window / Door	INS* - Insulation
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BLK* - Concrete block	LAM* - Joinery Laminate
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CTW* - Ceramic Tiles Wall	PTN* - Partition
DP* - Downpipe	SKT* - Skirting
FC* - Fibre Cement Sheet	ST* - Stone
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GMS - Galvanised Mild Steel	WS - Wall Stiffener
MS - Mild Steel	

ARCHITECTURAL

APPROX - Approximate	KS - Kitchen Sink
BAL - Balustrade	LVR - Louvre
BDY - Boundary	LMR - Lift Motor Room
BLDG - Building	MDF - Medium Density Fibreboard
BOL - Bollard	MDR - Metal Roofing
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FCL - Finished Ceiling Level	SFL - Structural Floor Level
FCLW1 - Light weight facade cladding (type 1)	SHR - Shower
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KE - Kitchen Exhaust	VC - Vent Cowl
	WC - Water Closet
	WPM - Waterproof Membrane

No	Initial	DATE	REVISION DETAILS
A	LDa	15/01/2023	Initial issue
B	LDa	15/02/2023	Consultant issue - General Update
C	LDa	10/03/2023	Consultant issue - General updates
D	LDa	27/03/2023	DA issue
E	LDa	19/04/2023	Revised DA issue

1:100 @ ORIGINAL SIZE
0 1 3 6 10m

CLIENT
Catholic Schools Broken Bay
Catholic Schools Broken Bay
PO Box 967,
Pennant Hills, NSW, 1715

PROJECT
St Cecilia's Catholic Primary School
15 Panonia Road, Wyong, NSW, 2259
New Classroom & Amenities Building

DRAWING TITLE
Development Application
Elevations - Sheet 1

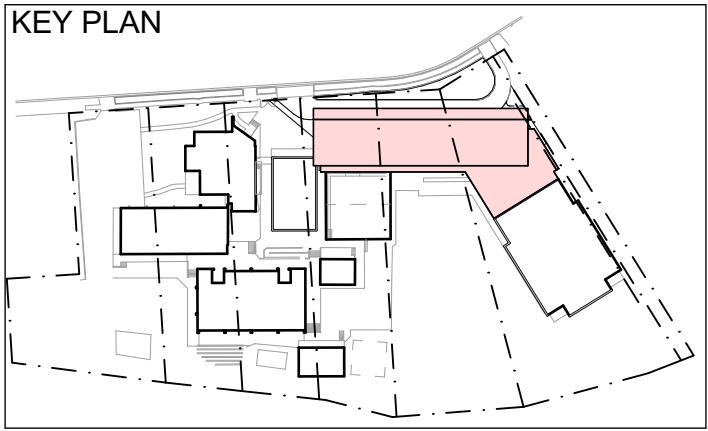
PROJECT No	DRAWING No	REVISION
21026	DA301	E
DRAWING SCALE	SHEET SIZE	DRAWN
1:100	A1	LD
CHECKED	DATE	
MMCG/LD	19/04/2023	

ARCHITECT
Gardner Wetherill Assoc.
Suite 2.01 Level 2
460 Pacific Highway
St Leonards NSW 2065

T. (02) 9929 6777
E. design@gardnerwetherill.com.au

Accredited Architects - Fully Licensed (Reg No. 14660)
Allstate Road Contractor (Reg No. 3946)





GENERAL SCHEDULE OF FINISHES & ABBREVIATIONS

AL* -	Aluminium Framed Window / Door	INS* -	Insulation
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HWU -	Hot Water Unit	UB -	Universal Beam
GMS -	Galvanised Mild Steel	UC -	Universal Column
MS -	Mild Steel	WS -	Wall Stiffener

ARCHITECTURAL

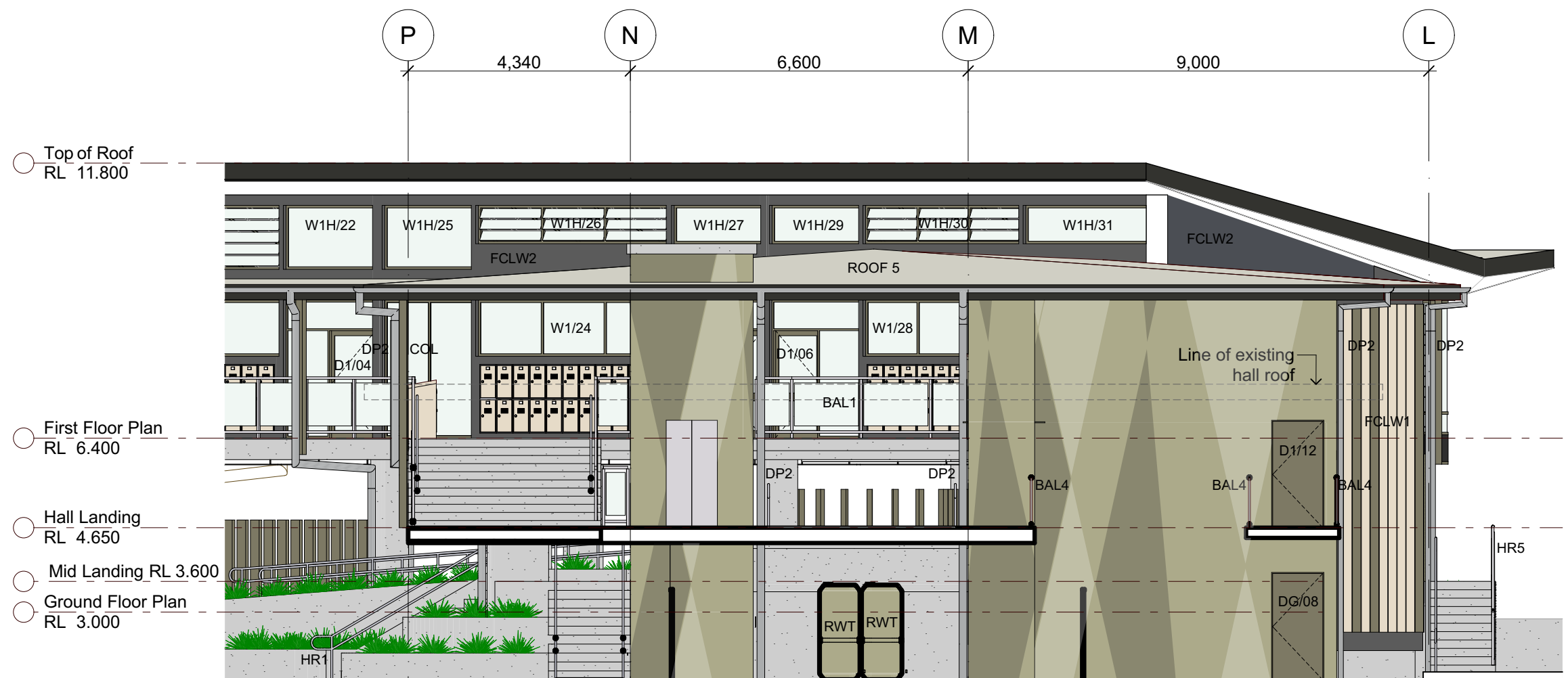
APPROX -	Approximate	KS -	Kitchen Sink
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BDY -	Boundary	LMR -	Lift Motor Room
BLDG -	Building	MDF -	Medium Density Fibreboard
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1 East Elevation
SCALE - 1:100



2 West Elevation
SCALE - 1:100



3 South East Elevation
SCALE - 1:100

No	Initial	DATE	REVISION DETAILS
A	LDa	20/01/2023	Initial issue
B	LDa	15/02/2023	Consultant issue - General Update
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1:100 @ ORIGINAL SIZE
0 1 3 6 10m

CLIENT
Catholic Schools Broken Bay
Catholic Schools Broken Bay
PO Box 967,
Pennant Hills, NSW, 1715

PROJECT
St Cecilia's Catholic Primary School
15 Panonia Road, Wyong, NSW, 2259
New Classroom & Amenities Building

DRAWING TITLE
Development Application
Elevations - Sheet 2

PROJECT No	DRAWING No	REVISION
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DRAWING SCALE	SHEET SIZE	DRAWN
1:100	A1	LD
CHECKED	DATE	
MMCG/LD	19/04/2023	

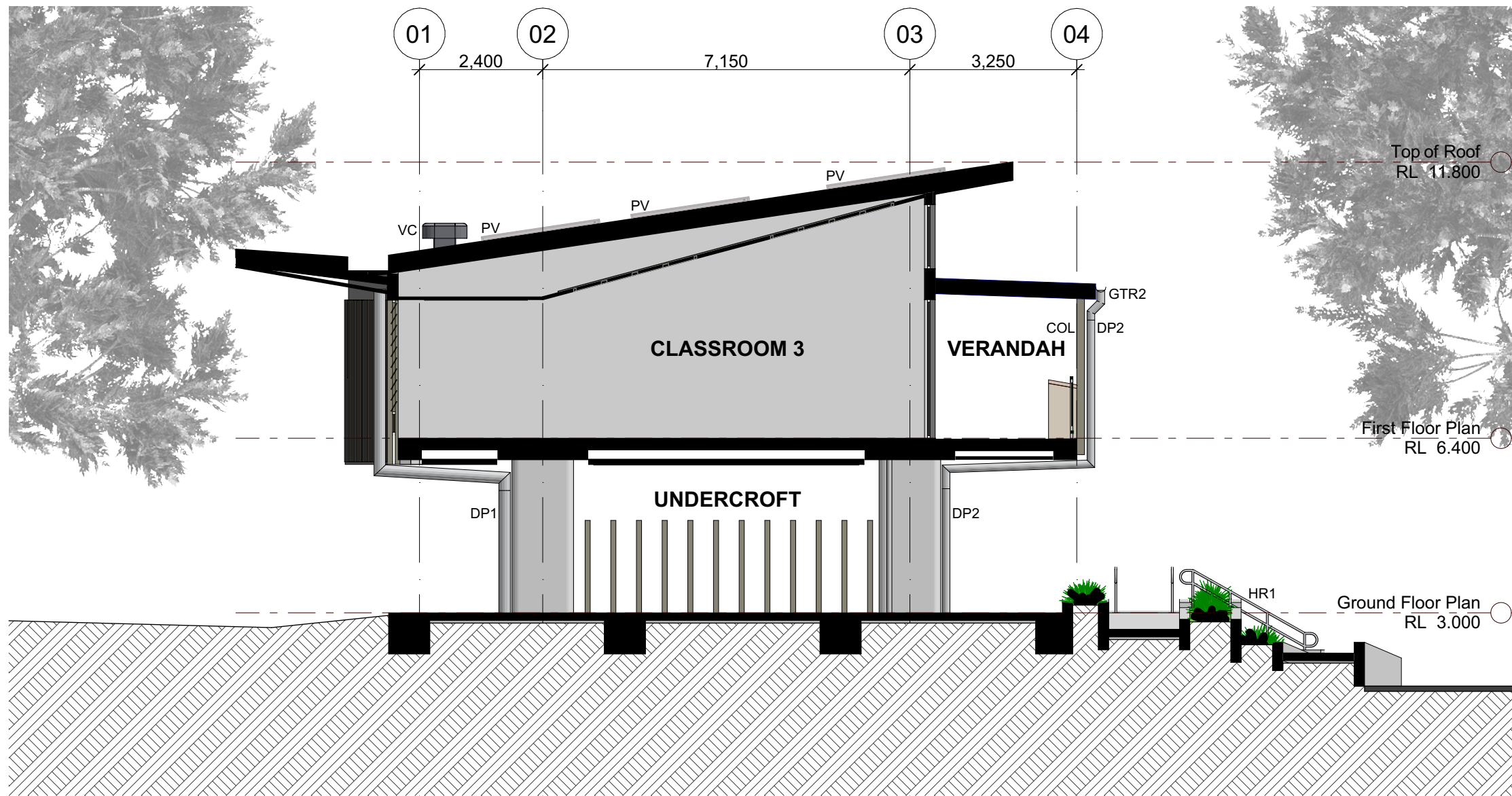
ARCHITECT
Gardner Wetherill Assoc.
Suite 2.01 Level 2
460 Pacific Highway
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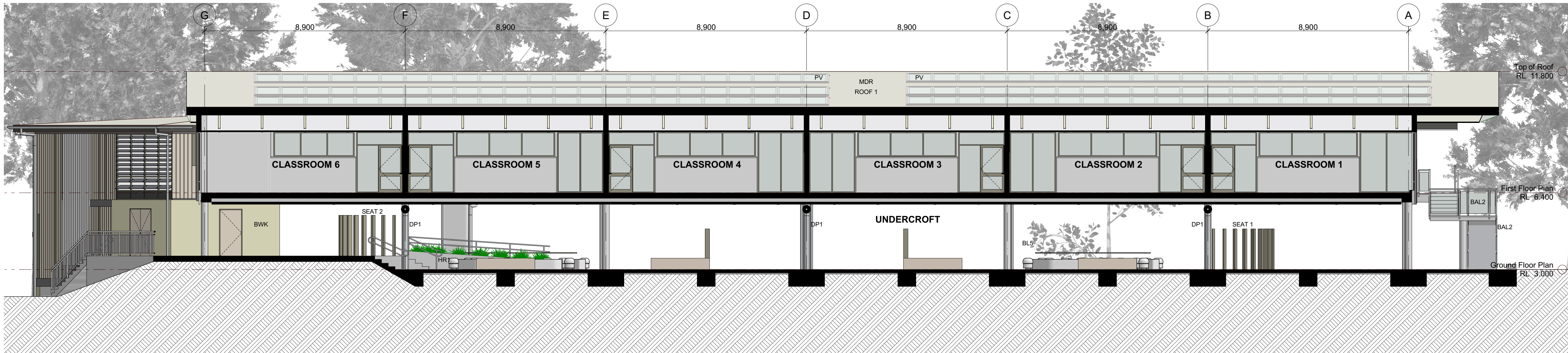
Accredited Architects - Fully Incorporated (Reg No. 19460)
Allstate Road Contractor (Reg No. 39445)



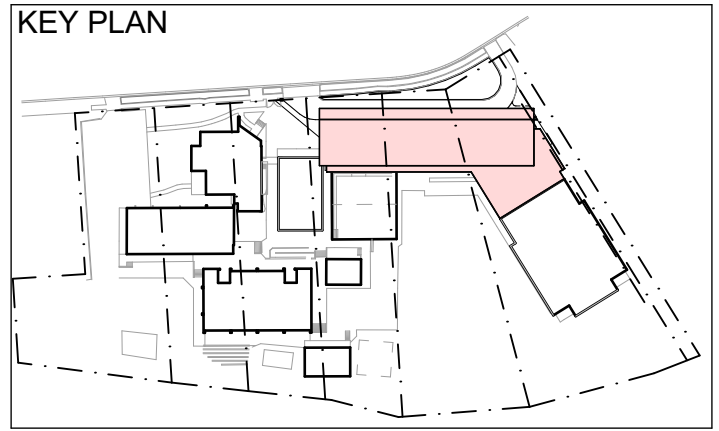
Development Application



1 Cross Section 1
SCALE - 1:100



2 Section 2
SCALE - 1:100



GENERAL SCHEDULE OF FINISHES & ABBREVIATIONS

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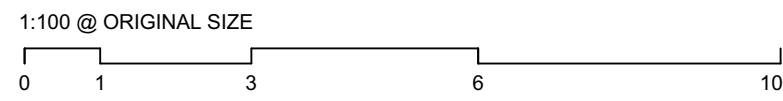
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GAL - Galvanised	TIM - Timber
GL - Ground Level	TPH - Toilet Paper Holder
GLZ - Powdercoat AL, framed glaz	TYP - Typical
GTR - Gutter	US - Underside
HD - Hand dryer	UNO - Unless Noted Otherwise
HR - Handrail	UR - Urinal
KE - Kitchen Exhaust	VC - Vent Cowl
	WC - Water Closet
	WPM - Waterproof Membrane

A	LDa	20/01/2023	Initial issue
B	LDa	10/02/2023	Consultant issue - General Update
C	LDa	10/03/2023	Consultant issue - General updates
D	LDa	27/03/2023	DA issue
E	LDa	19/04/2023	Revised DA issue
No	Initial	DATE	REVISION DETAILS



CLIENT
Catholic Schools Broken Bay
Catholic Schools Broken Bay
PO Box 967,
Pennant Hills, NSW, 1715



PROJECT
St Cecilia's Catholic Primary School
15 Panonia Road, Wyong, NSW, 2259
New Classroom & Amenities Building



DRAWING TITLE
Development Application
Section - Sheet 1

PROJECT No	DRAWING No	REVISION
21026	DA303	E
DRAWING SCALE	SHEET SIZE	DRAWN
1:100	A1	LD
CHECKED	DATE	
MMCG/LD	19/04/2023	

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ACCA 104-076-833
Notified Architect - Tully Wetherill (Reg No. 19460)
Allison Ross Gardner (Reg No. 39445)



Development Application



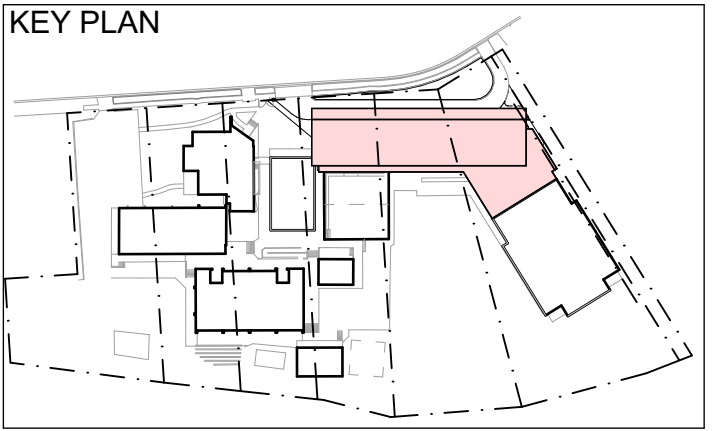
1 Shadow Diagram June 21 9am
SCALE - 1:500



2 Shadow Diagram June 21 12am
SCALE - 1:500

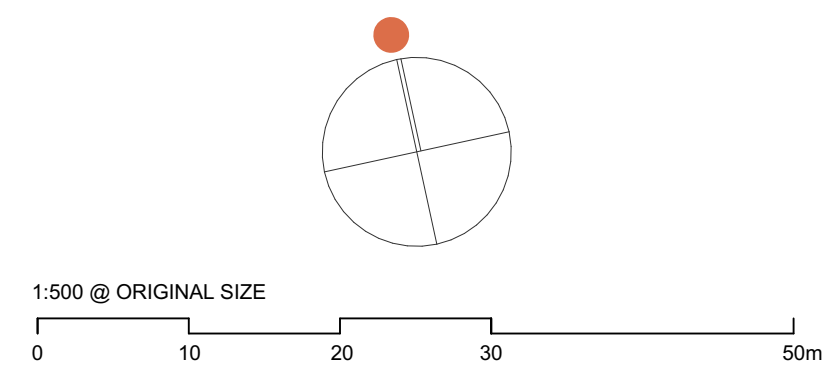


3 Shadow Diagram June 21 3pm
SCALE - 1:500



- LEGEND
- SITE BOUNDARIES
 - 95.0 --- CONTOUR LINES / LEVELS
 - PROPOSED BUILDING WORKS
 - SHADOWS

01	LDw	27/03/2023	DA Issue
02	LDw	19/04/2023	Revised DA Issue
No	Initial	DATE	REVISION DETAILS



CLIENT
Catholic Schools Broken Bay
Catholic Schools Broken Bay
PO Box 967,
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PROJECT
St Cecilia's Catholic Primary School
15 Panonia Road, Wyong, NSW, 2259
New Classroom & Amenities Building

DRAWING TITLE
Development Application
Shadow Diagrams

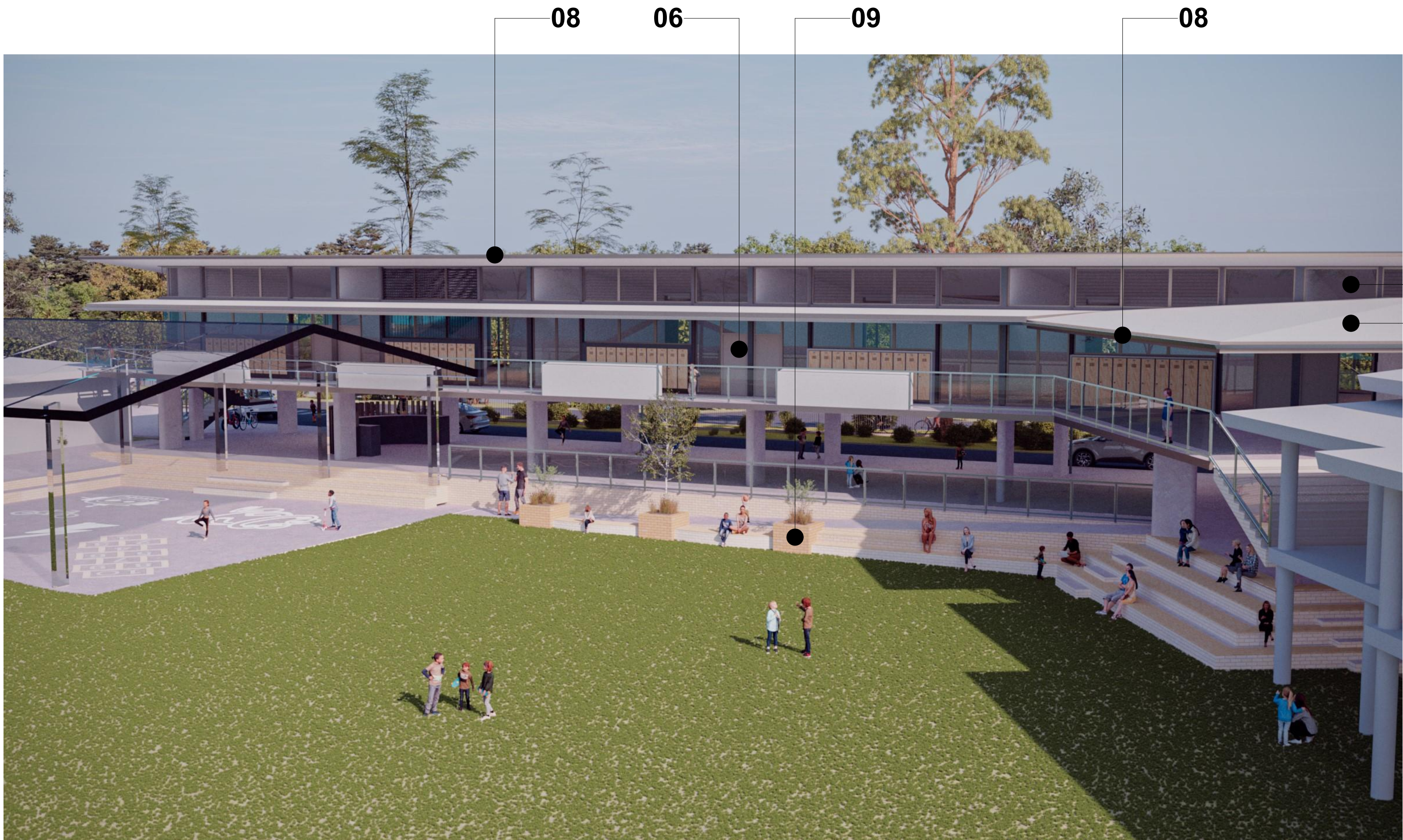
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21026	DA401	02
DRAWING SCALE	SHEET SIZE	DRAWN
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CHECKED	DATE	
MMCG/LD	19/04/2023	
ARCHITECT		
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Development Application

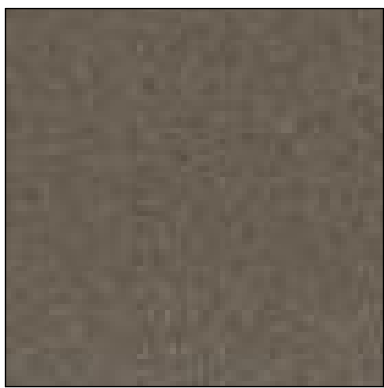




Perspective - North / West



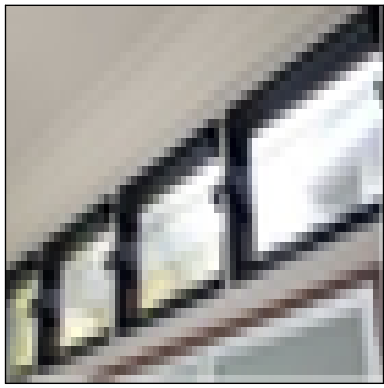
Perspective - South



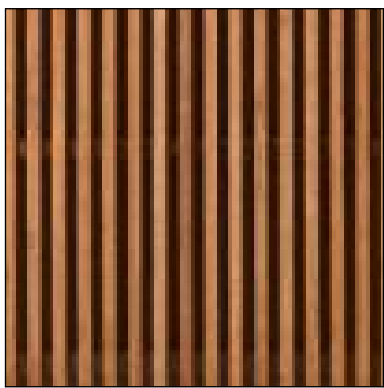
1. WALL CLADDING FINISH:
COLOUR: SUNSTONE BRONZE
ALUMINIUM



2. WALL CLADDING FINISH:
COLOUR: WHITE OAK
ALUMINIUM



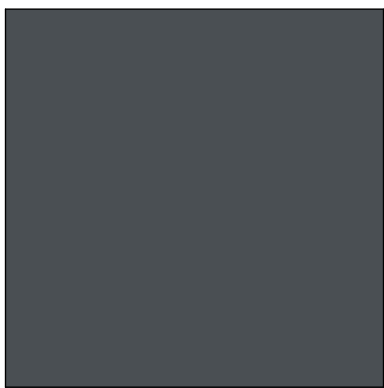
3. WINDOW / LOUVERS FINISH:
COLOUR: BRONZE



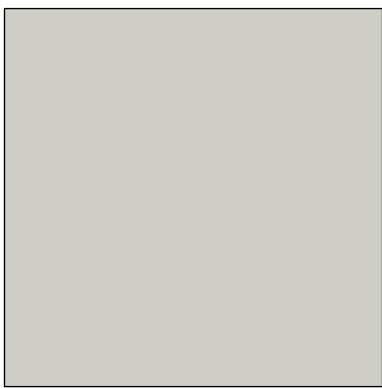
4. METAL LOUVERS - VERTICAL:
COLOUR: TIMBER LOOK



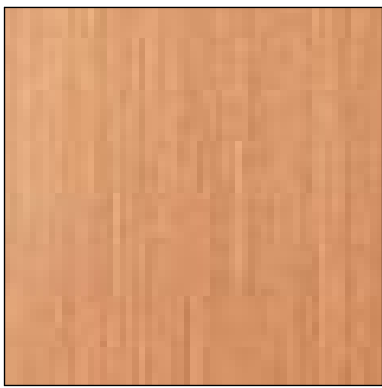
5. METAL LOUVERS - VERTICAL:
COLOUR: ANTHRACITE GREY



6. DOORS:
COLOUR: ANTHRACITE GREY



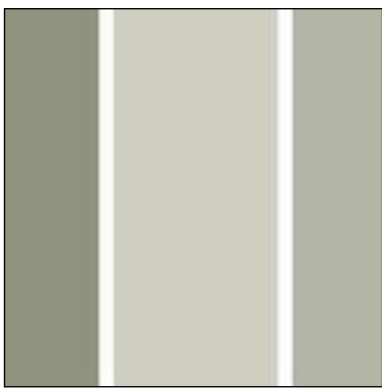
7. METAL ROOFS FINISH:
COLOUR: SURFMIST



8. FASCIAS:
COLOUR: BRONZE





9. BRICKWORK:
COLOUR: CHILINGHAM WHITE



10. WALL CLADDING (LIFT SHAFT &
STAIRCASE) FINISH:
COLOUR: OYSTER LINEN VARIATIONS

A	LDs	10/01/2023	Initial Issue
B	LDs	27/03/2023	DA Issue
C	LDs	19/04/2023	Revised DA Issue
No	Initial	DATE	REVISION DETAILS

CLIENT		Catholic Schools Broken Bay			
Catholic Schools Broken Bay		PO Box 967,		Pennant Hills, NSW, 1715	
PROJECT		St Cecilia's Catholic Primary School			
15 Panonia Road, Wyong, NSW, 2259		New Classroom & Amenities Building			
DRAWING TITLE		Development Application		3D Perspective & External Finishes	

PROJECT No	DRAWING No	REVISION
21026	DA402	C
DRAWING SCALE	SHEET SIZE	DRAWN
	A1	LD
CHECKED	DATE	
MMCG/LD	19/04/2023	

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Development Application

